

OFF-STREET PARKING AND LOADING SUMMARY TABLE

USE: RETAIL STORE, SHOPPING CENTER, BANK: 49,440 SF	REQUIRED	
1 SPACES PER 250 SQUARE FEET	198	PARKING SPACES
49,440 SF / 250 = 197.8 SPACES		
USE: EXISTING RESTAURANT, EAT-IN: 150 SEATS & 25 EMPLOYEES		
1 SPACE PER 4 SEATS + 1 SPACE PER EMPLOYEE	62.5	PARKING SPACES
(150 SEATS / 4) + 25 EMPLOYEES = 62.5 SPACES		
USE: PROPOSED RESTAURANT, EAT-IN: 100 SEATS & 15 EMPLOYEES		
1 SPACE PER 4 SEATS + 1 SPACE PER EMPLOYEE	40.0	PARKING SPACES
(100 SEATS / 4) + 15 EMPLOYEES = 40.0 SPACES		
USE: RESTAURANT, FAST FOOD: 833 SQUARE FEET		
1 SPACE PER 60 SQUARE FEET (W/ DRIVE THROUGH)	14	PARKING SPACES
833 SF / 60 = 13.9 SPACES		
USE: SERVICE ESTABLISHMENT: 5,063 SQUARE FEET		
1 SPACE REQUIRED PER 300 SQUARE FEET	17	PARKING SPACES
5,063 SF / 300 = 16.9 SPACES		
USE: WAREHOUSE: 97,800 SQUARE FEET		
1 SPACE REQUIRED PER 1,200 SQUARE FEET	82	PARKING SPACES
97,800 SF / 1,200 = 81.5 SPACES		
TOTAL REQUIRED PARKING =	413	PARKING SPACES
ACCESSIBLE PARKING SPACE REQUIREMENT: FOR 201 TO 300 SPACES, 7 SHALL BE ACCESSIBLE, 1 SHALL BE VAN ACCESSIBLE)	25	ADA SPACES
TOTAL PARKING PROVIDED: 485 PARKING SPACES		
STANDARD	460	
ACCESSIBLE	25	

TABLE NOTES:
1. PROPOSED PARKING SPACES SHALL BE A MINIMUM OF 10 FEET IN WIDTH AND 20 FEET IN DEPTH FOR 90° PARKING.

**TOWN OF HOOKSETT
PERFORMANCE ZONE (PZ) DISTRICT**

ITEM	REQUIRED	PROPOSED
MINIMUM LOT AREA	1.0 ACRE	14.77 ACRES
MINIMUM LOT FRONTAGE	100 FEET	721.2 FEET
MAXIMUM BUILDING HEIGHT	75 FEET	20 FEET
MINIMUM FRONT SETBACK ^{1,2}	60 FEET (1:3)	80.7 FEET
MINIMUM SIDE SETBACK ¹	20 FEET (1:1)	194.3 FEET
MINIMUM REAR SETBACK ¹	20 FEET (1:1)	N/A
MAXIMUM IMPERVIOUS COVER	65%	81.4% ³
STREET TREE STRIP	15 FEET	0 FEET ³
FRONT LANDSCAPE AREA	15 FEET	0 FEET ³
PERIMETER LANDSCAPE AREA (SIDE & REAR)	10 FEET (1/2 BUILDING HEIGHT)	0 FEET ³
INTERIOR LANDSCAPING (PARKING)	10%	7.1% ³

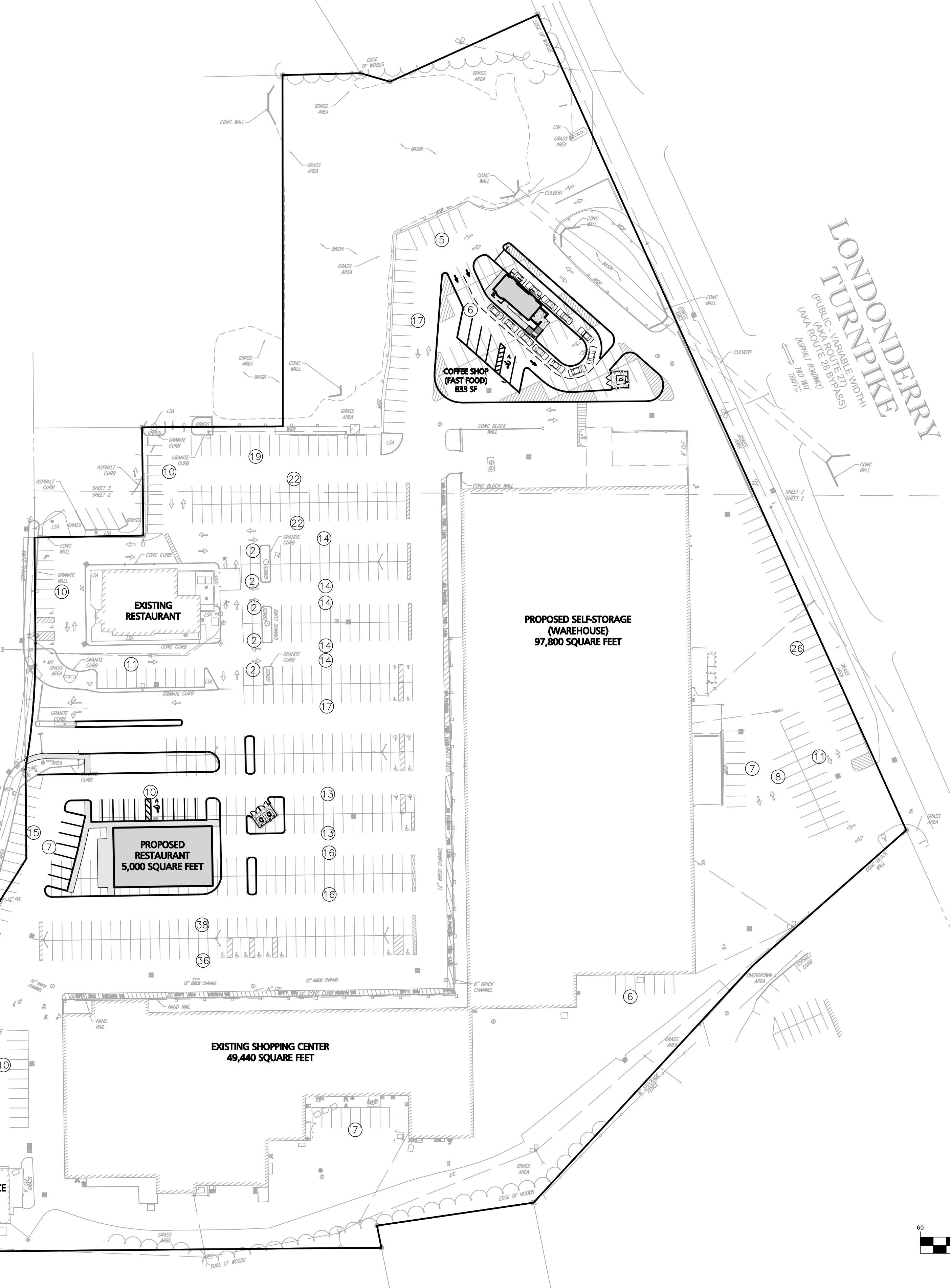
NOTES:
1. CALCULATED AS A RATIO OF ONE FOOT OF MAXIMUM BUILDING HEIGHT TO ONE FOOT REQUIRED BUILDING SETBACK.
2. MINIMUM FRONT STRUCTURE SETBACK DIMENSION IS 30 FEET. NO FRONT STRUCTURE SETBACK REQUIREMENT SHALL BE IN EXCESS OF ONE HUNDRED FEET.
3. EXISTING NONCONFORMING TO REMAIN.

DIG SAFE



BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

HOOKSETT ROAD

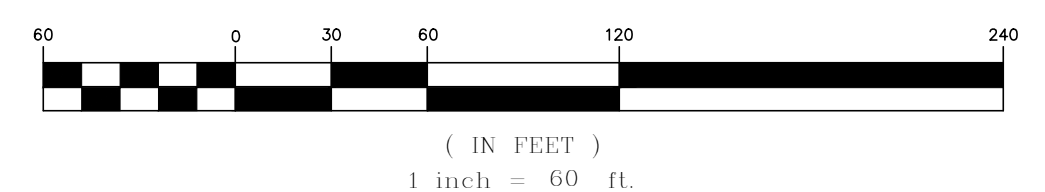


LEGEND

PROPERTY LINE	---
SIGN	—
BUILDING	▭
BOLLARD	•
PARKING STRIPING	▧
CURB	—
SIDEWALK	▨
SETBACK LINE	---
PARKING COUNT	⑩
CHAIN LINK FENCE	—x—x—

NOTES
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GRAPHIC SCALE



**CONCEPTUAL
ISSUED FOR REVIEW
JANUARY 26, 2023**

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
**BRADY SULLIVAN PROPERTIES
670 N. COMMERCIAL STREET, SUITE 303
MANCHESTER, NH 03101**

PROJECT:
**1265-1271 HOOKSETT ROAD
HOOKSETT, NH**

PROJECT NO.	2038-12	DATE:	TBD
SCALE:	1" = 60'	DWG. NAME:	C2038-12
DESIGNED BY:	SM	CHECKED BY:	MAM

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DRAWING TITLE:	SHEET No.
CONCEPTUAL SITE PLAN #1	1

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